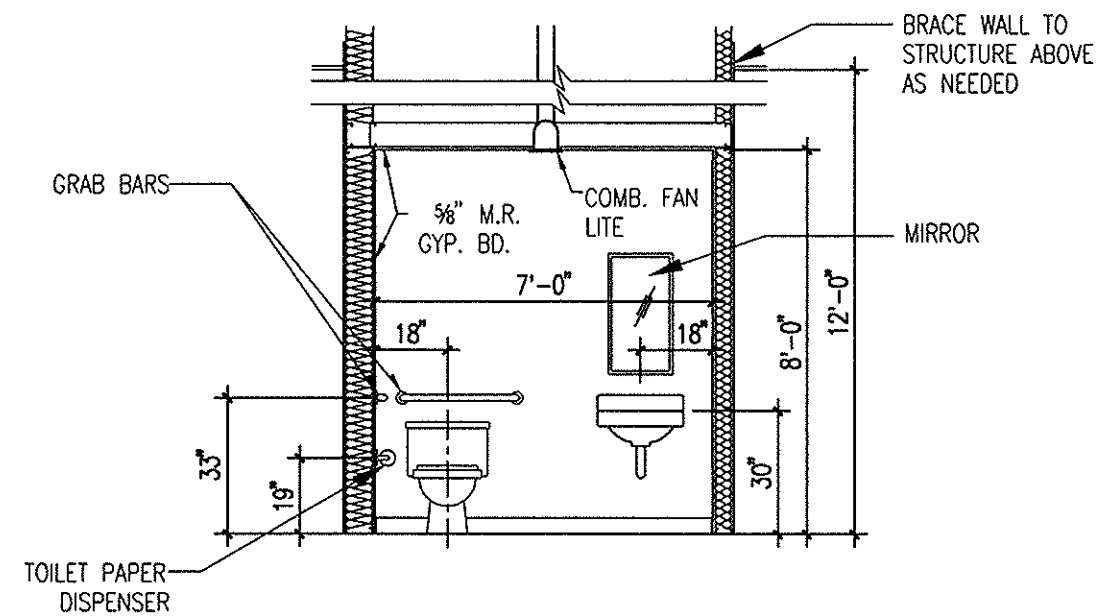


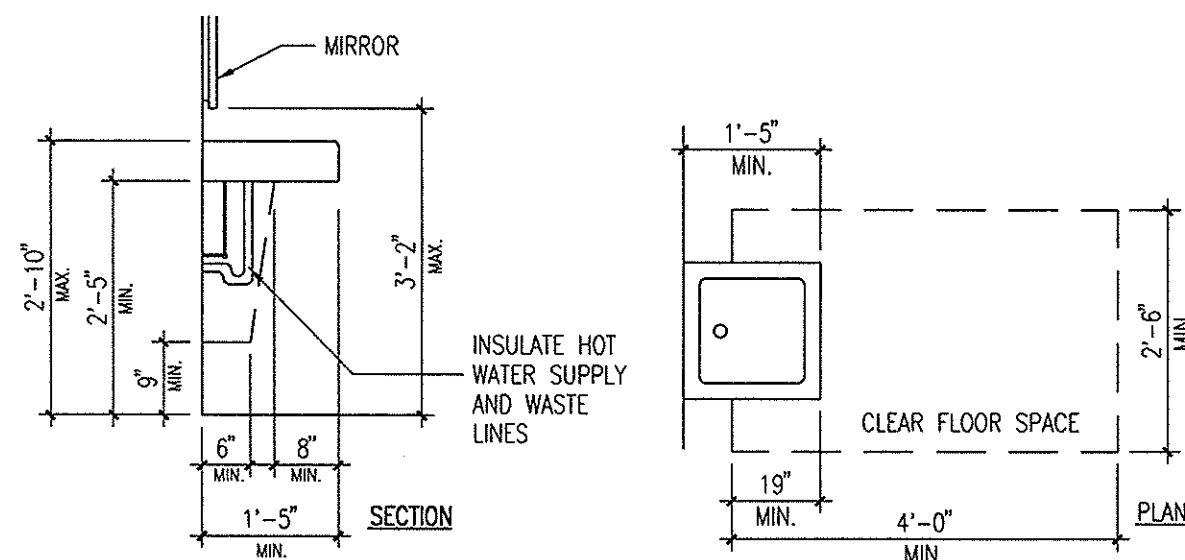
**RESTROOM DETAIL**

SCALE: 1/4" = 1'-0"



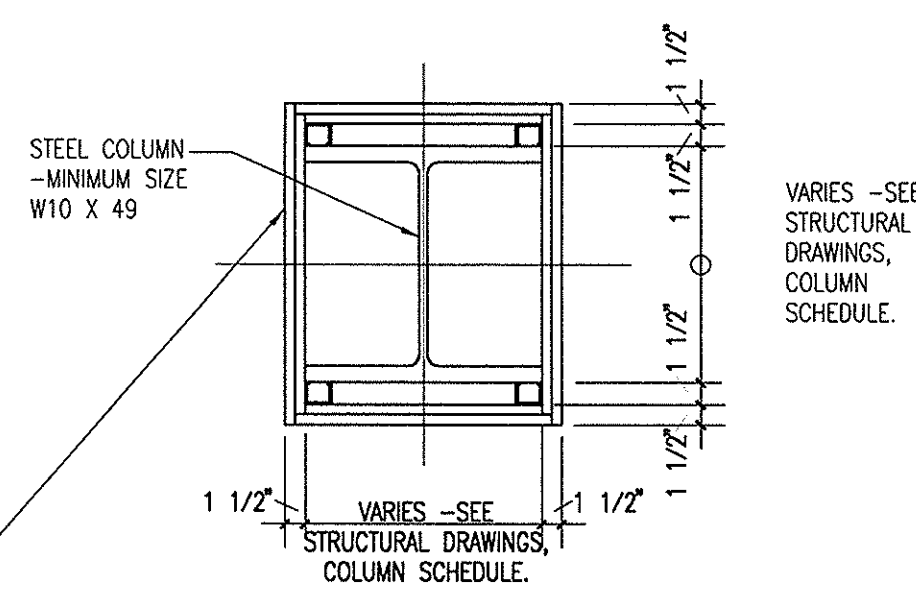
**ELEVATION**

SCALE: 1/4" = 1'-0"



**LAVATORY CLEARANCES**

SCALE: 1/2" = 1'-0"

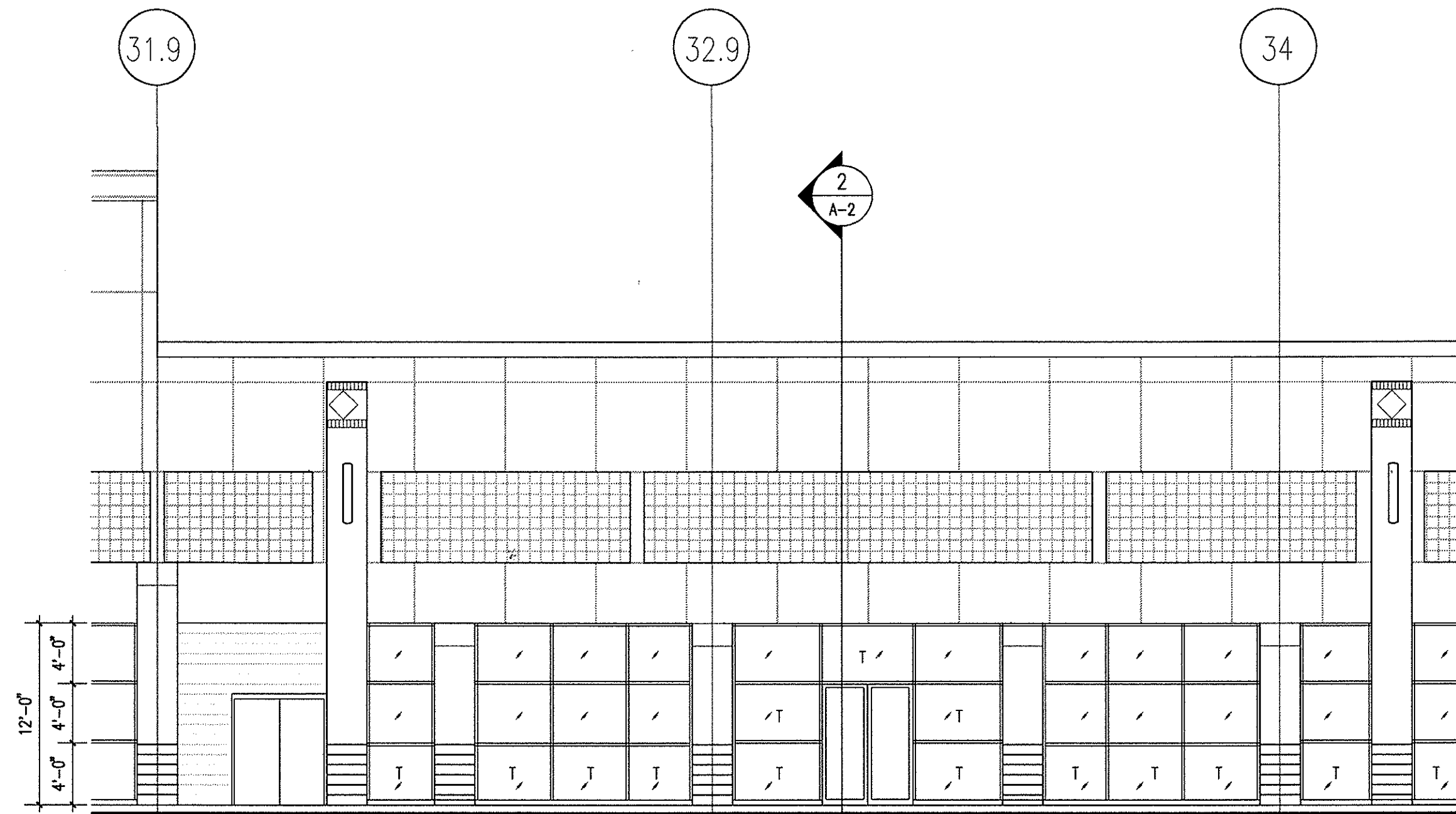


**2 HR. FIRE RATED COLUMN  
(UL DESIGN NO. X517)**

SCALE: 1" = 1'-0"

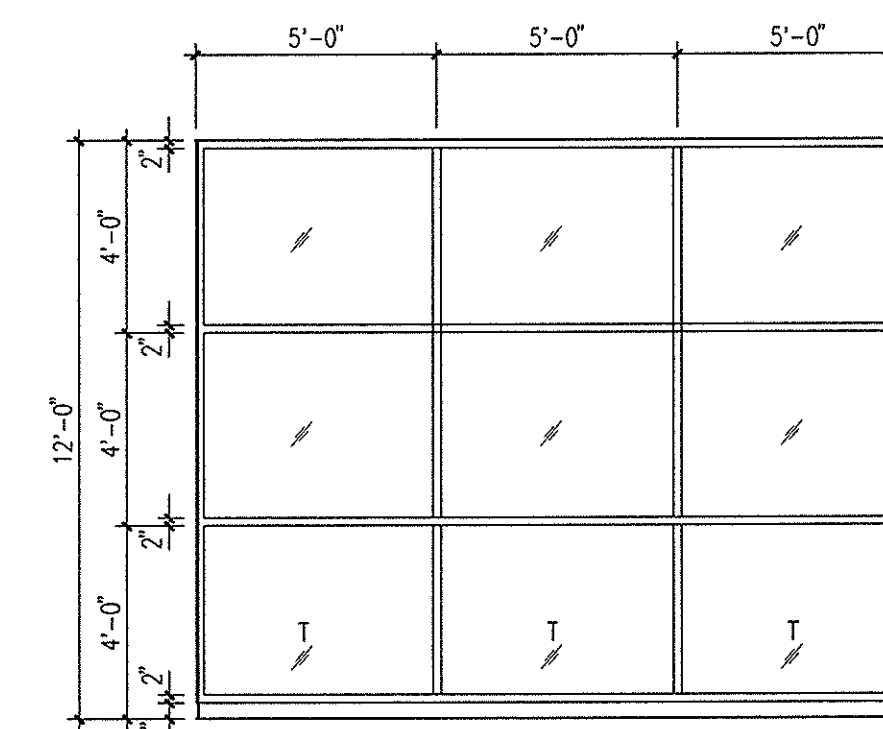
**GENERAL NOTES:**

- VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES USING THE "CONSTRUCTION REQUEST FOR INFORMATION" FORM AND SUPPLEMENTARY CONTRACTOR-PRODUCED DETAILS AS REQUIRED.
- FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE DATUM ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST COORDINATE DATUM-BASED ARCHITECTURAL ELEVATIONS SHOWN WITH SITE-SPECIFIC ELEVATIONS SHOWN ON CIVIL DRAWINGS (IF ANY).
- PARTITION DIMENSIONS SHOWN ARE TO FACE OF PARTITION FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.
- BUILDING SHALL BE FULLY PROTECTED WITH AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 231C. PROVIDE FIRE EXTINGUISHERS PER JURISDICTION REQUIREMENTS.
- COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMB, AND ELEC. DRAWINGS.
- REFER TO RETAIL STORES SHELL PACKAGE FOR BUILDING SHELL COMPONENTS SUCH AS EXTERIOR WALLS, TENANT DEMISING WALLS AND THE BUILDING STRUCTURE. COORDINATE WORK WITH BUILDING SHELL COMPONENTS ALREADY CONSTRUCTED.
- ALL DRYWALL TO BE TAPED, SPACKLED AND PAINTED TWO COATS TO UNDERSIDE OF CEILING. COLOR TO BE TENANT'S CHOICE FROM LANDLORD SAMPLES.
- TENANT DEMISING WALL AND STOCKROOM WALL - 1 HR. RATED 5/8" TYPE X GYP. BD. ON BOTH SIDES OF 6" MTL. STUDS @ 24" O.C. FULL HEIGHT TO UNDERSIDE OF FLOOR DECKING ABOVE TAPE. BEAD, SPACKLED AND PAINTED TWO COATS. REFER TO U.L. DESIGN NO. U465
- TYP. STOREFRONT WALL ABOVE GLASS - REFER TO RETAIL SHELL PACKAGE DRAWINGS.
- TYP. CORRIDOR DEMISING WALL - 1 HR. RATED. REFER TO U.L. DESIGN NO. U465 REFER TO RETAIL SHELL PACKAGE DRAWINGS. WALL TYPE AND FINISH SIMILAR TO NOTE 8.
- ALL FIRE EXTINGUISHERS REQUIRED FOR TENANT OCCUPANCY TO BE PROVIDED BY TENANT.



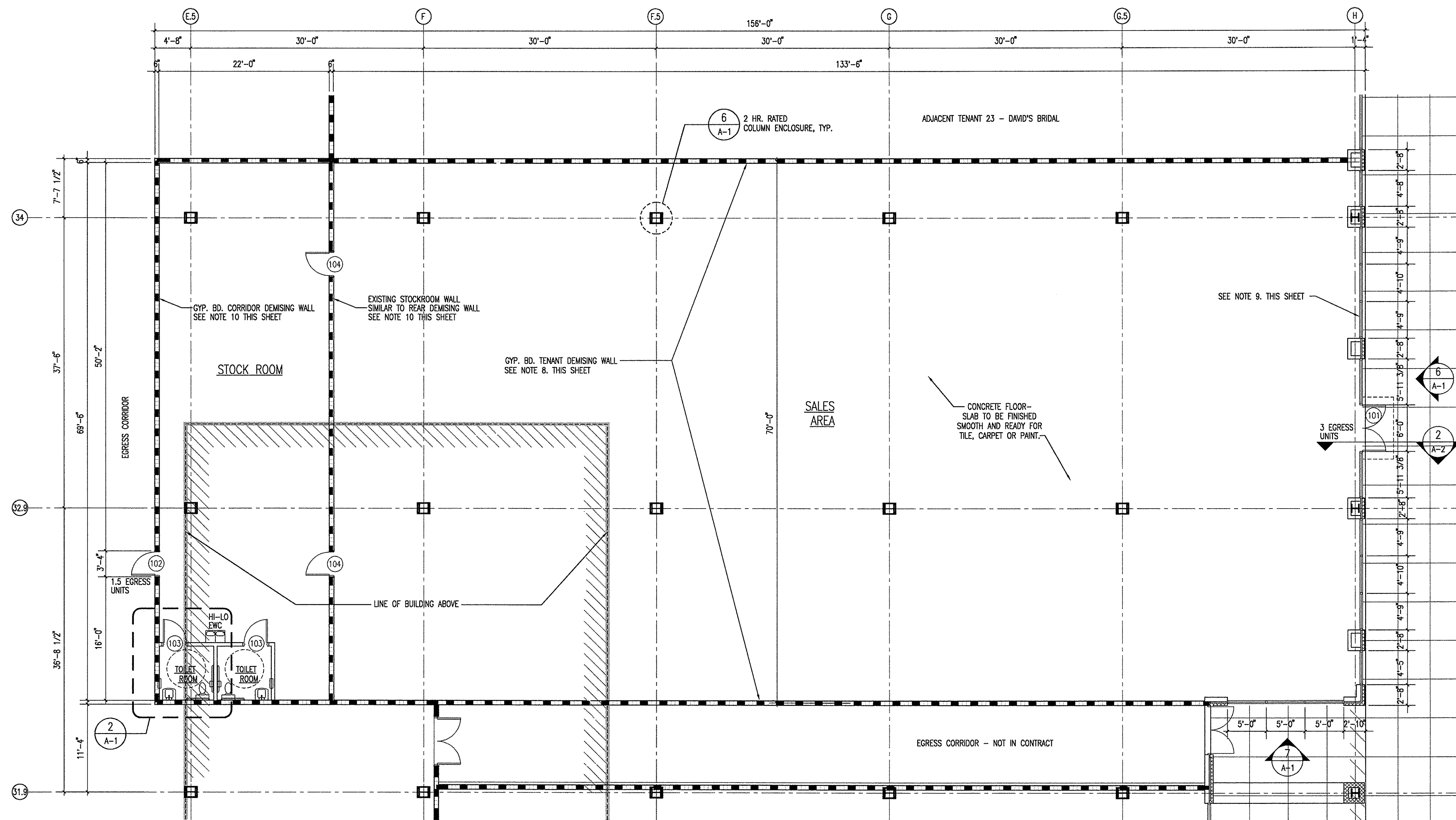
**EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"



**STOREFRONT ELEV.**

SCALE: 1/4" = 1'-0" T - INDICATES TEMPERED GLASS



**FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**DATES AND REVISIONS**

8-16-02 FOR PERMIT



**RICHARD L. BOWEN AND ASSOCIATES INC.**  
13000 SHAKER BOULEVARD, CLEVELAND, OHIO 44120 • (216) 491-9300 • FAX 491-8053

**NOTICE**

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.  
RICHARD L. BOWEN AND ASSOCIATES INC.  
COPYRIGHT YEAR 2002

**TENANT IMPROVEMENTS ORANGE PLAZA REDEVELOPMENT**  
**OP - 99 CENT STORE**  
TOWN OF WALLKILL  
ORANGE COUNTY, NEW YORK  
NATIONAL REALTY AND DEVELOPMENT CORP.  
3 MANHATTENVILLE ROAD  
PURCHASE, NEW YORK 10577-2116  
PHONE: (914) 694-4444 / FAX: (914) 694-5448

**DRAWN BY:** DLS  
**CHECKED BY:** JBB  
**RLB NO.** 5271.21

**DRAWING NO.**  
**A-1**