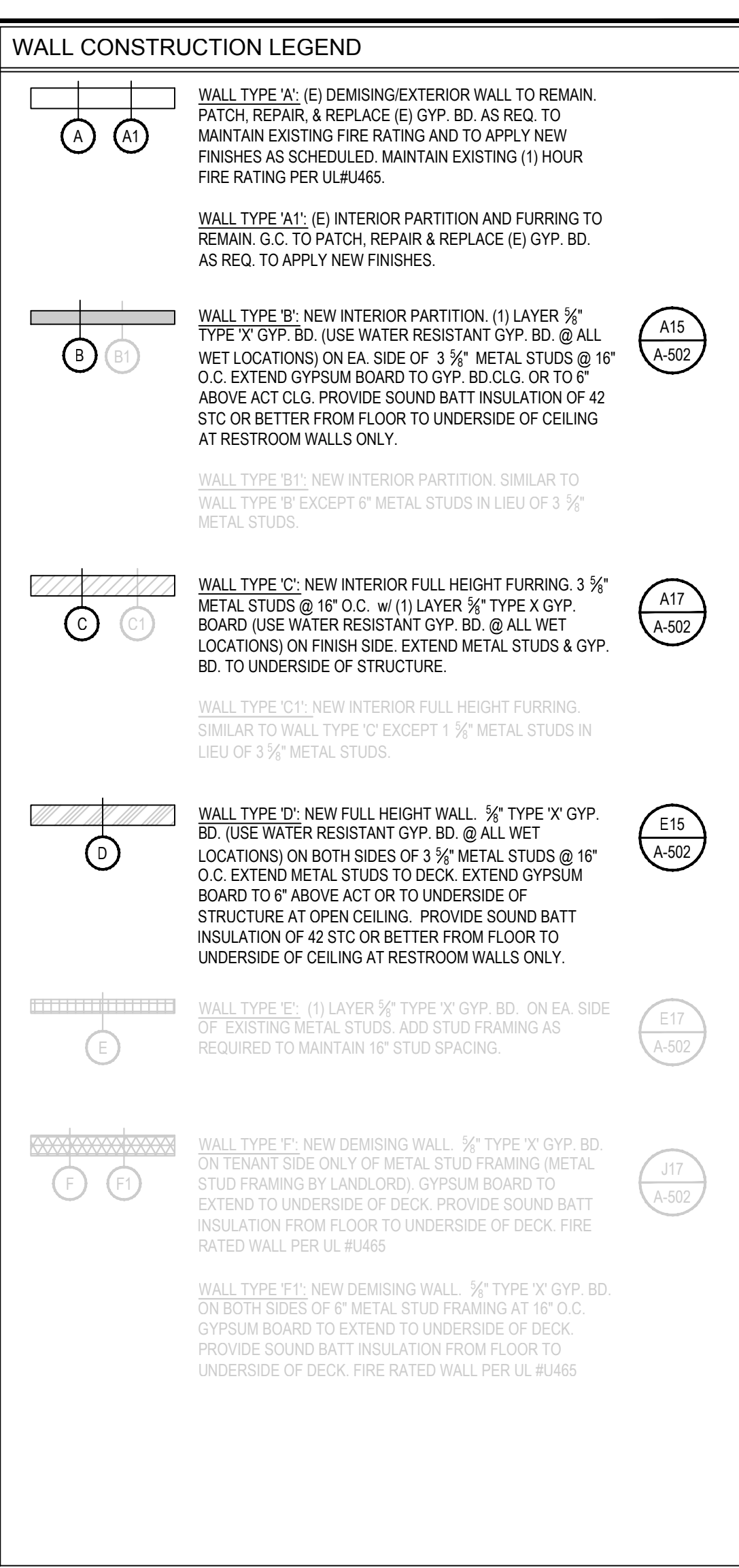
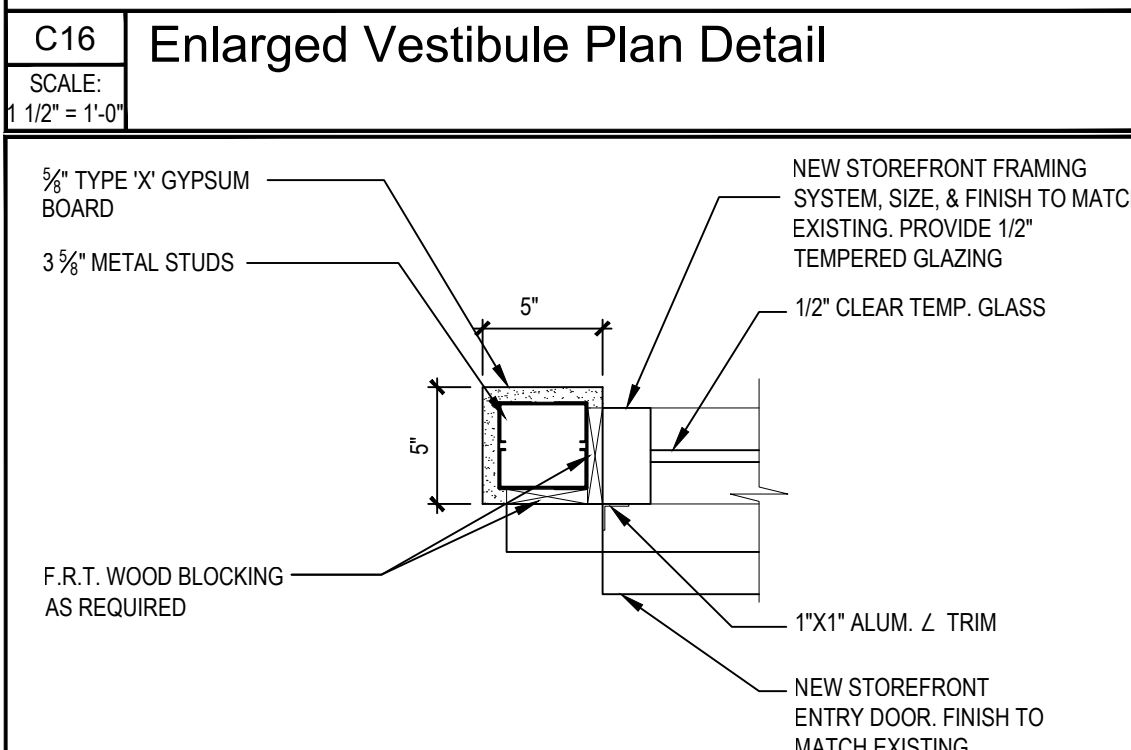
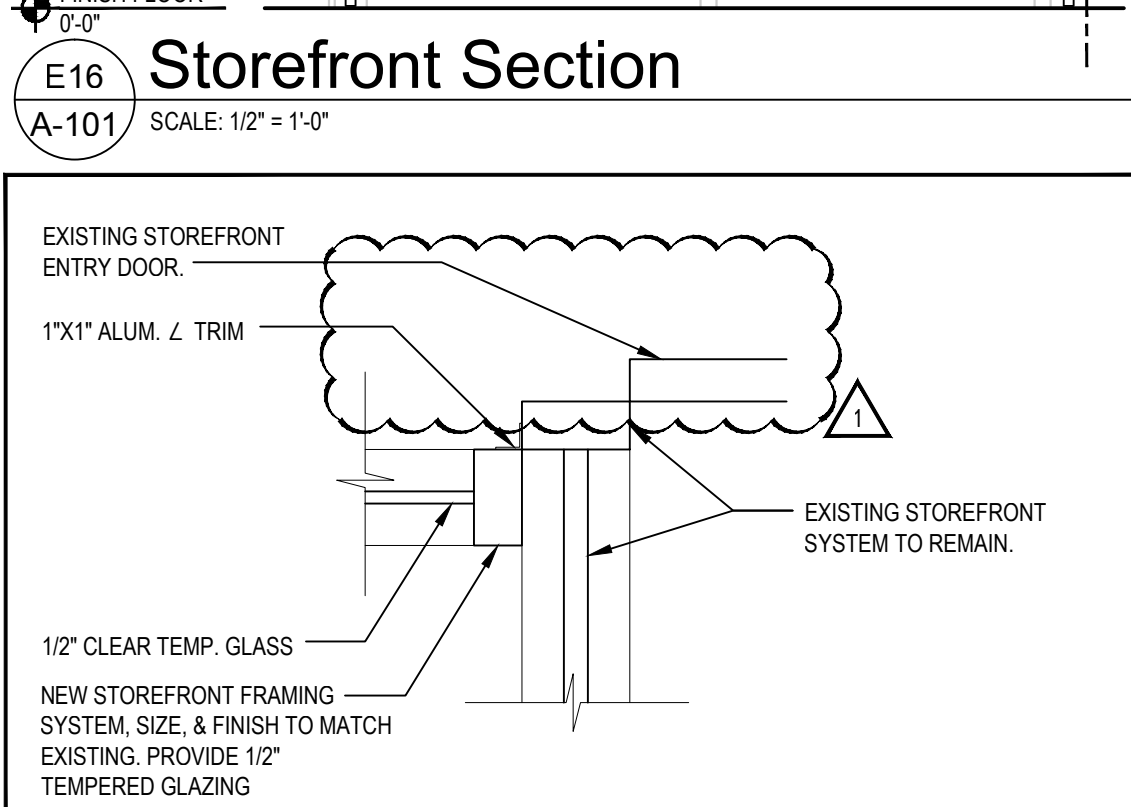
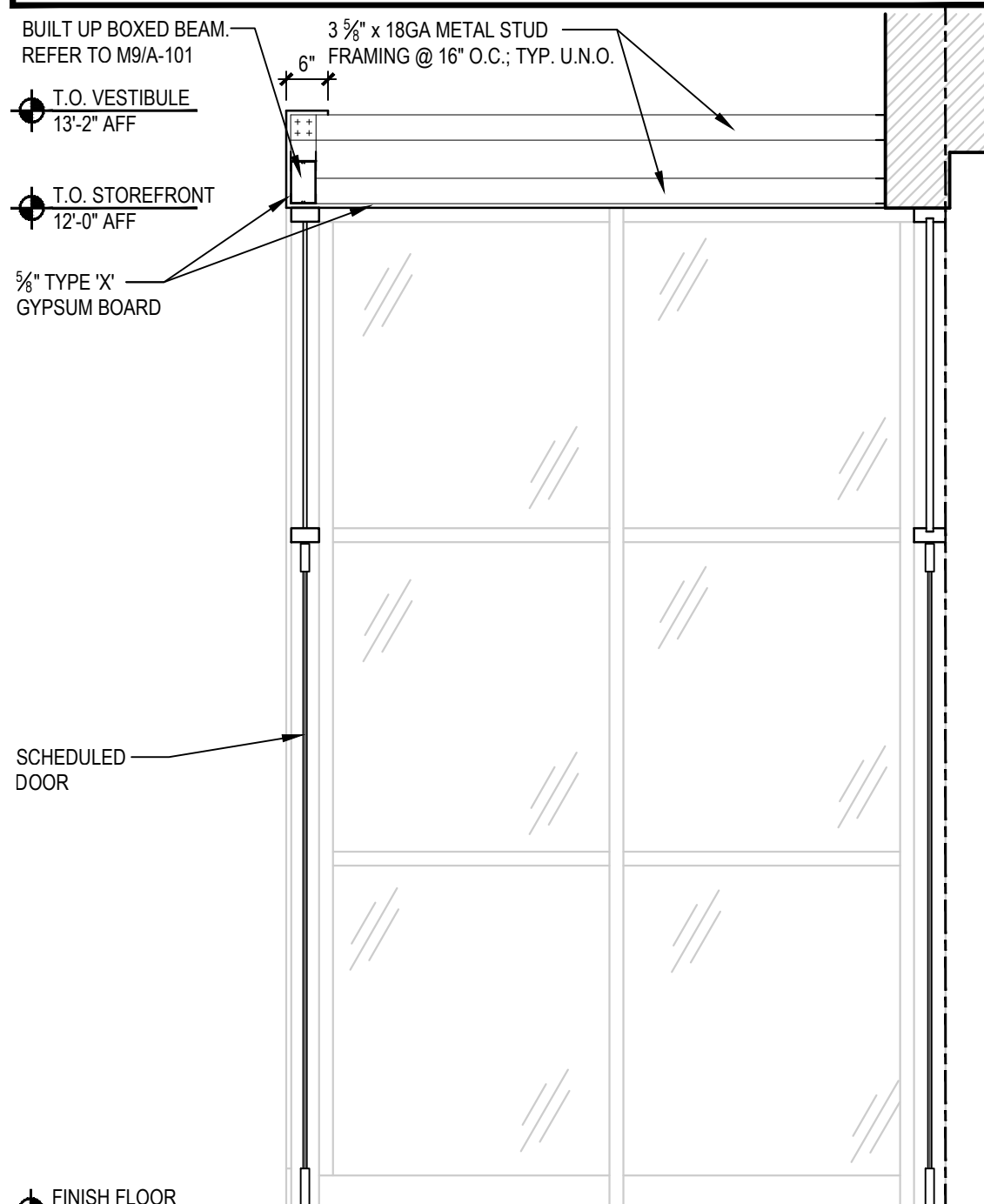
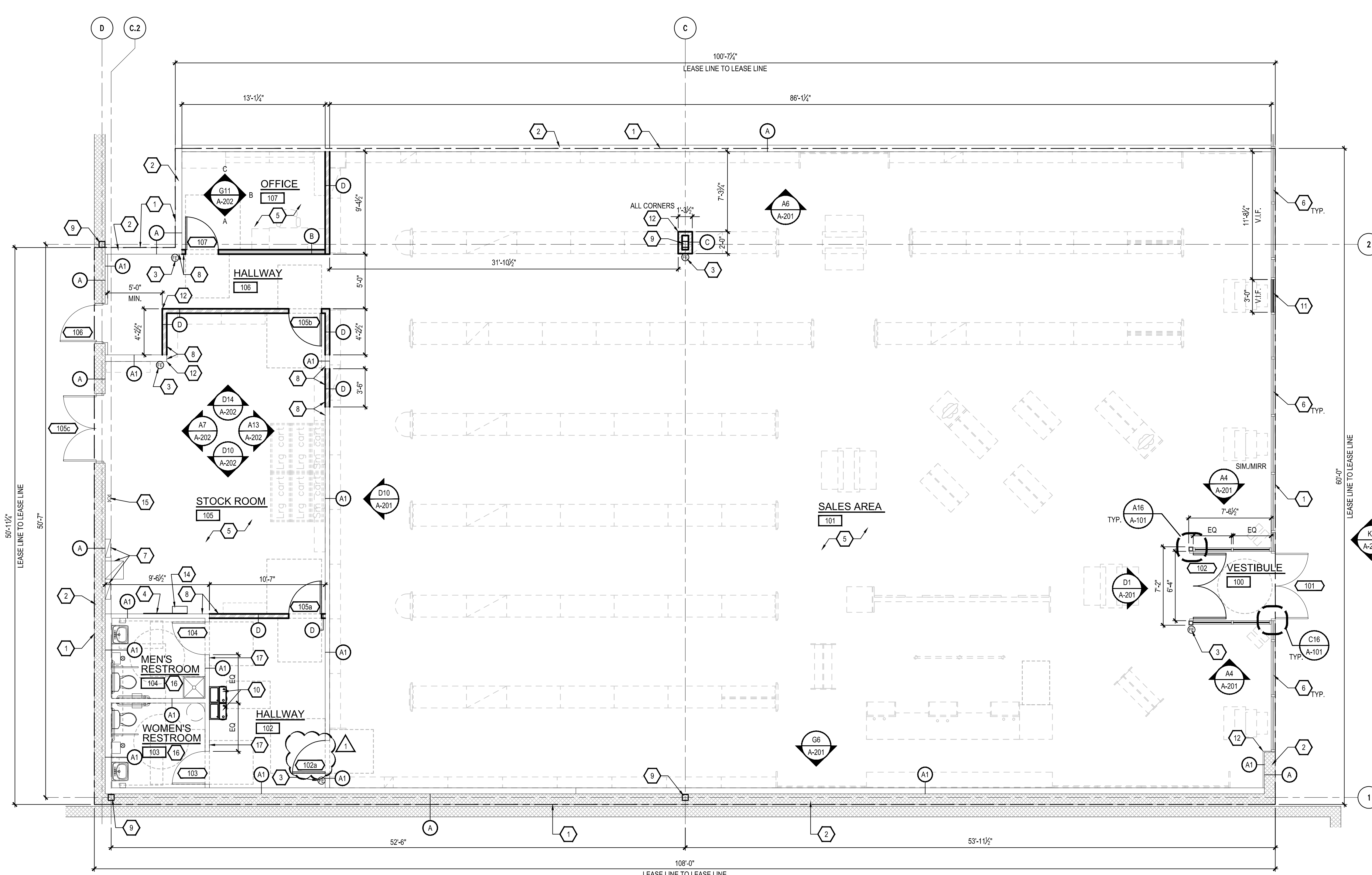


NOTE: ALL EXISTING WALLS TO REMAIN IN OPEN CEILING AREAS ARE TO EXTEND TO DECK/STRUCTURE. G.C. TO EXTEND STUD FRAMING AND GYPSUM BOARD TO UNDERSIDE OF DECK/STRUCTURE IF NOT EXISTING. ENSURE SMOOTH TRANSITION FROM EXISTING TO NEW. FINISH GYPSUM BOARD AS REQUIRED TO ACCEPT NEW WALL FINISHES.



- GENERAL NOTES**
- THE GC SHALL VERIFY DIMENSIONS OF THE EXISTING SPACE & OF ANY EXISTING CONSTRUCTION TO REMAIN BY ACTUAL MEASUREMENT BEFORE ANY WORK IS PERFORMED. IF MEASUREMENTS DIFFER FROM DIMENSIONS INDICATED ON THESE PLANS, THE GC IS TO NOTIFY THE TENANT IMMEDIATELY. THE GC IS RESPONSIBLE FOR CORRECTING ANY & ALL DISCREPANCIES AT NO ADDITIONAL EXPENSE TO TENANT.
 - THE GC SHALL PATCH & REPAIR ALL EXISTING SURFACES AS NECESSARY BEFORE APPLYING NEW FINISHES. ALL SOFT, POROUS, FLAKING OR OTHERWISE DEFECTIVE FINISHES SHALL BE REMOVED BEFORE APPLICATION OF NEW MATERIALS. OPENINGS, VOIDS OR UNFINISHED SURFACES CREATED BY REMOVAL OR MODIFICATION OF EXISTING WORK SHALL BE FILLED OR PATCH & FINISHED AS NECESSARY TO MATCH EXISTING CONDITIONS FOR NEW FINISHES REQ. SPECIFICALLY. FLOOR SURFACES AT ENTRY SHALL BE LEVELLED TO ASSURE SMOOTH SURFACE TRANSITION BETWEEN EXISTING & NEW FLOOR FINISH MATERIALS.
 - GC SHALL VERIFY THAT DEMISING WALLS EXTEND TO STRUCTURE ABOVE AND ALL PENETRATIONS ARE SEALED TIGHT, AS REQUIRED BY LANDLORD AND SHALL PROVIDE ALL WORK REQUIRED TO CORRECT DEFICIENT CONDITIONS.
 - THE GC IS RESPONSIBLE TO MAINTAIN THE ARCHITECTURAL, STRUCTURAL AND FIRE RATING INTEGRITY OF THE LANDLORD'S DEMISING WALLS, FLOOR SLAB, BEAMS, COLUMNS, ROOF DECK, ETC.
 - ALL METAL STUDS ARE TO BE 20 GA. TYPICAL NON-LOAD BEARING PARTITIONS. SEE USG STEEL-FRAMED DRYWALL SYSTEMS LIMITING HEIGHT - STEEL STUD ASSEMBLIES' CHART. USE THE LOWEST ALLOWABLE DEFLECTION FIGURES ONLY.
 - ALL GYPSUM BOARD TO BE 5/8" TYPE 'X' UNLESS NOTED OTHERWISE.
 - THE GC SHALL COORDINATE WORK OF VARIOUS TRADES IN INSTALLATION OF INTERRELATED WORK BEFORE INSTALLATION OR WORK BY ANY TRADE BEGINS. MAKE PROPER PROVISIONS TO AVOID INTERFERENCES. THIS SHALL INCLUDE WORK BY ANY OF THE TENANTS SUBCONTRACTORS AS WELL AS THOSE UNDER CONTRACT WITH THE GC. PROVIDE METAL OR F.R.T. WOOD BLOCKING FOR ALL SIGNS, HOOKS, TOILET ROOM ACCESSORIES & ANY OTHER WALL MOUNTED EQUIPMENT. COORDINATE ALL BLOCKING REQUIREMENTS NECESSARY FOR MILLWORK W/ MILLWORK.
 - ALL FRAMING LUMBER, PLYWOOD AND CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T.) - NO WOOD IN CEILING PLENUM ABOVE SPRINKLER COVERAGE.
 - DIMENSIONS ARE FROM FACE OF GYPSUM WALL BOARD OR CENTERLINE OF COLUMN. ALL ELEVATIONS ARE FROM FINISH FLOOR ELEVATION.
 - ALL INTERIOR FINISH & TRIM MATERIALS SHALL MEET APPLICABLE CODES FOR FLAME SPREAD RATINGS.
 - MINIMUM DIMENSION FROM ANY CORNER OR WALL TO FRAMING STUD AT DOOR JAMB OPENING SHALL BE 4" (U.N.O.).
 - THE GC SHALL PROVIDE CAULK JOINTS WHERE GYP. BD. MEETS THE FLOOR OR ROOF DECK - PACK FLUTES AT DECK AS REQUIRED.
 - PROVIDE DRYWALL TRIM AT ALL EXPOSED EDGES AND CORNERS.

- KEY NOTES**
- LEASE LINE.
 - (E) DEMISING / EXTERIOR WALL TO REMAIN. PATCH AND REPAIR AS REQUIRED TO MAINTAIN EXISTING FIRE RATING.
 - PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPE 2A 10BC FOR THIS ROOM. COORDINATE EXACT LOCATION WITH OWNERS CONSTRUCTION PROJECT MANAGER AND LOCAL AUTHORITY HAVING JURISDICTION.
 - NEW TELEPHONE BOARD - REFER TO ELECTRICAL DRAWINGS.
 - REFER TO FIXTURE PLAN FOR ALL FIXTURE LOCATIONS AND BLOCKING REQUIREMENTS.
 - EXISTING STOREFRONT GLAZING SYSTEM TO REMAIN.
 - EXISTING ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL DRAWINGS.
 - ALLEN NEW WALL WITH EXISTING WALL.
 - (E) COLUMNS TO REMAIN.
 - DRINKING FOUNTAIN - REFER TO DETAIL D1A-401 FOR MOUNTING HEIGHT. REFER TO PLUMBING DRAWINGS.
 - NEW STOREFRONT GLAZING SYSTEM TO MATCH EXISTING.
 - PROVIDE 2" x 2" x 96" WHITE PLASTIC CORNER GUARD.
 - NOT USED.
 - NEW LIGHTING CONTROL PANEL - REFER TO ELECTRICAL DRAWINGS.
 - EXISTING WATER METER TO REMAIN.
 - EXISTING PLUMBING FIXTURES & ALL ACCESSORIES TO REMAIN.
 - EXISTING ADA RESTROOM DOOR SIGNAGE TO REMAIN.



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Payless super store

ISSUE INFORMATION

February 6th, 2015

REVISIONS

1. Permit / Rev #1	05.07.15
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PROJECT INFORMATION

North Haven S.C. Store #5203

2 Universal Drive North
North Haven, CT 06473

PROJECT #:
28853-000

SHEET INFORMATION

Construction Plan

DRAWN BY:
G. Liu

REVIEWED BY:
C. Bonifas

SCALE:
As Noted

AUTHORIZED FOR:
Permit

A-101

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