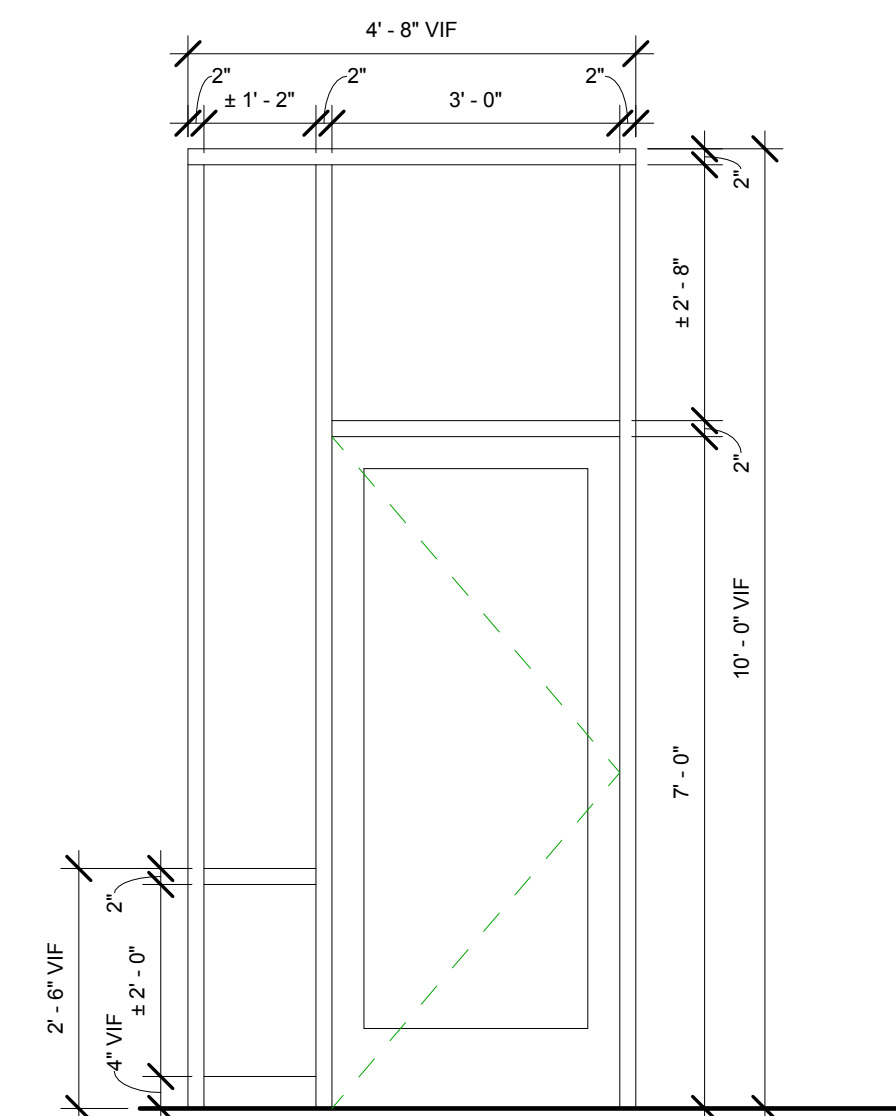
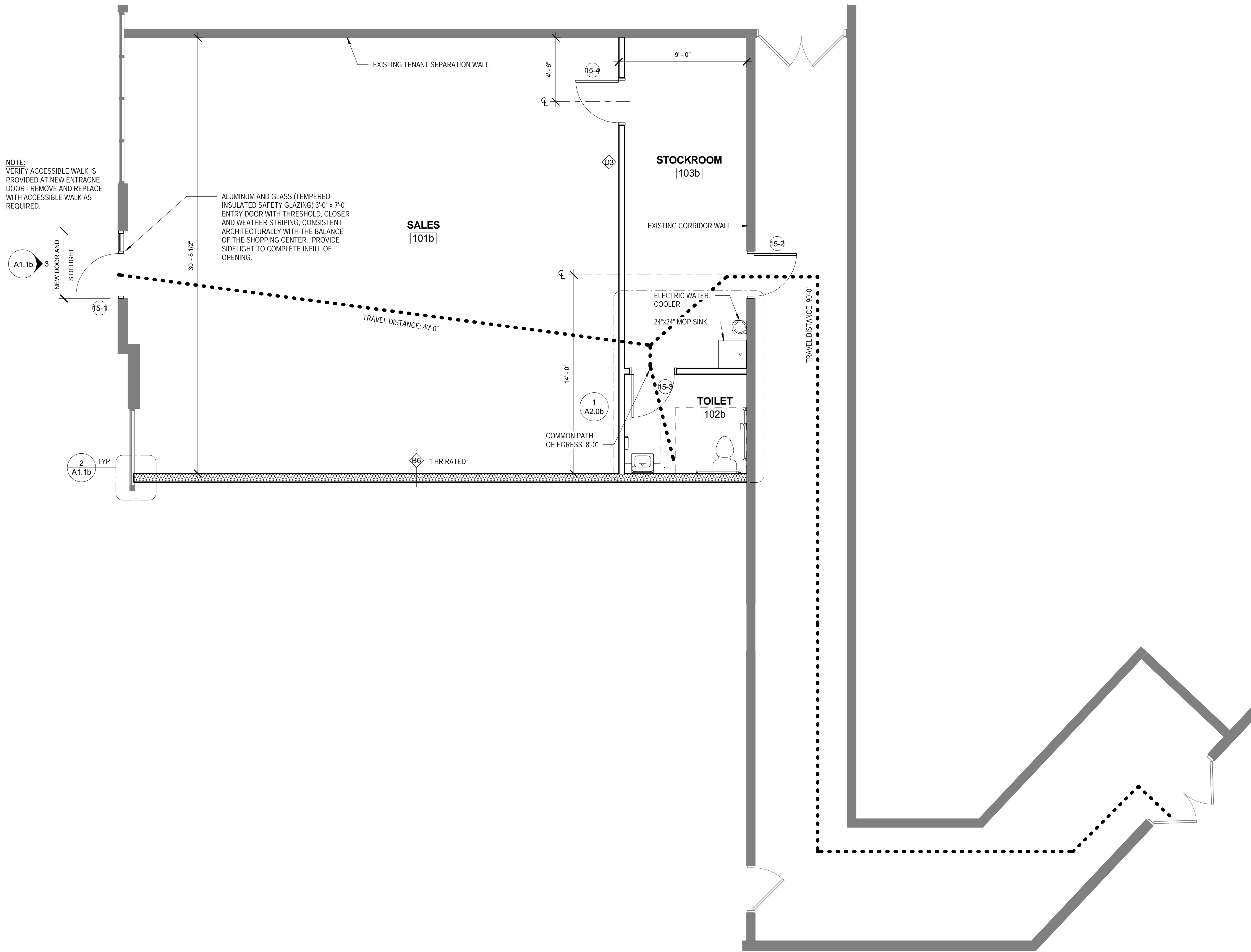


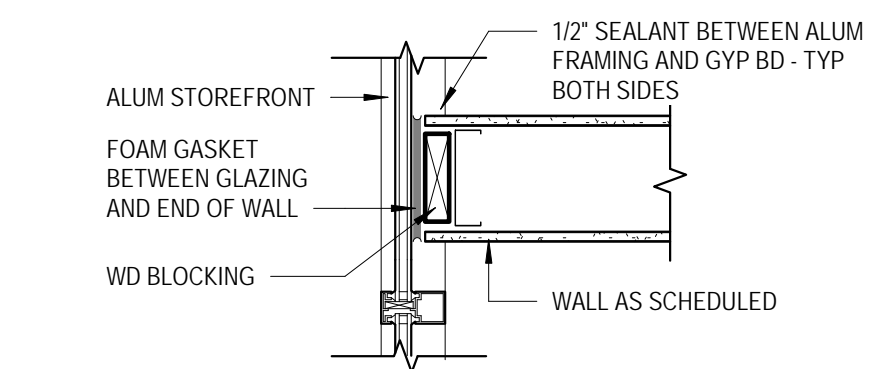
GENERAL NOTES

- GC SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
- ALL EXTERIOR GLAZING IS EXISTING U.N.O.
- ALL INTERIOR DOORS SHALL BE LOCATED SO THAT THERE IS 4" CLEAR FROM THE FACE OF THE NEAREST WALL TO THE OPENING ON THE HINGE SIDE U.N.O. SEE A001 FOR ACCESSIBLE CLEARANCE REQUIREMENTS.
- PATCH AND REPAIR WALLS WHERE DEMOLITION, DAMAGE OR INCOMPLETE WORK HAS OCCURRED. PREP PARTITION FOR NEW SCHEDULED FINISHES AND TEXTURES.
- WALL ANGLES ARE PARALLEL, PERPENDICULAR OR IN 45 DEGREE INCREMENTS TO BUILDING PERIMETER WALL, U.N.O.
- CONSTRUCTION MATERIAL SPECIFICATIONS TO BE ASBESTOS FREE.
- PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING PER CODE WITHIN WALL TO SUPPORT MILLWORK, STANDARDS AND WALL HUNG EQUIPMENT.
- GC SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10 AND THE LOCAL JURISDICTION REQUIREMENTS. USE WALL MOUNTED CABINETS IN SPACES VIEWABLE BY THE PUBLIC AND STANDARD EXTINGUISHER WALL BRACKETS IN AREAS NOT VIEWABLE BY THE PUBLIC. COORDINATE WITH THE FIRE MARSHAL. PORTABLE FIRE EXTINGUISHERS ARE TO BE 5 LB ABC MULTIPURPOSE IN SUFFICIENT QUANTITIES TO MEET THE 75-FOOT TRAVEL RULE.
- GC SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL TRADES AND VERIFY THAT ALL EQUIPMENT SHIPPED TO THE SITE IS COMPATIBLE WITH MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS PRIOR TO INSTALLATION OF SAID EQUIPMENT. IN THE EVENT OF ANY DISCREPANCIES, CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS, LOCATIONS AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT AND COORDINATE WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF RELATED WORK.
- GC SHALL VERIFY THAT ALL EXISTING DEMISING WALLS EXTEND FROM THE SLAB TO THE UNDERSIDE OF THE ROOF DECKING AND SHALL NOTIFY THE ARCHITECT OF ANY DEFICIENT ASSEMBLIES.
- GC SHALL VERIFY LOAD BEARING NATURE OF AFFECTED ELEMENTS & TAKE PRECAUTIONS, SHORING & BRACING AS REQ'D PRIOR TO START OF WORK.
- GC SHALL PATCH AND REPAIR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISHES AND ALL EXISTING SURFACES AND FINISHES AS NECESSARY FOR A COMPLETE AND PROPER INSTALLATION.



NOTE: STOREFRONT FRAMING AND DOOR TO BE CONSISTENT ARCHITECTURALLY WITH THE BALANCE OF THE SHOPPING CENTER. MULLIONS AND RAILS TO MATCH EXISTING DIMENSIONALLY - VIF ALL DIMENSIONS PRIOR TO ORDER AND FABRICATION

3 STORE FRONT ELEVATION
1/2" = 1'-0"



2 DETAIL AT STOREFRONT
1" = 1'-0"

NO.	DESCRIPTION	DATE
△	ISSUE FOR PERMIT	01/06/17
△	LANDLORD REVIEW	12/22/16
△	LANDLORD REVIEW	12/20/16

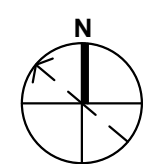
REVISIONS

ALL FIELD CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK. ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

THESE DRAWINGS ARE THE PROPERTY OF JOHN WILLIAM LISTER ARCHITECT. THEY ARE NOT TO BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE CONSENT OF JOHN WILLIAM LISTER ARCHITECT. THEY ARE TO BE USED ON THE PROJECT NOTED HEREON ONLY.

National Realty & Development Corp.

LANDLORD WORK
UNIT 15
711 EVERSHAM AVE
SOMERDALE, NJ 08083



1 FLOOR PLAN - Unit 15
1/4" = 1'-0"