

CONSULTANTS (ENGINEER):

ARCHITECTURAL SEAL:

CONTRACTOR'S NOTES:
 WRITTEN DIMENSIONS HOLD PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. THE CONTRACTORS MUST VISIT JOB SITE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE SUBMITTING BIDS. REPORT ANY DISCREPANCIES OF ANY CONDITIONS WHICH MAY INTERFERE WITH THE PROPER EXECUTION OF THE CONTRACT TO THE TENANT'S REPRESENTATIVE. REPORT DISCREPANCIES DURING BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. CHANGE ORDERS WILL NOT BE APPROVED FOR ISSUES ARISING FROM THE FIELD CONDITIONS OR CONFLICTS BETWEEN THE PLANS AND THE EXISTING CONDITIONS.

DATE	ISSUE
07/06/15	PRELIMINARY
07/08/15	ZONING REVIEW
07/09/15	LANDLORD/CLIENT

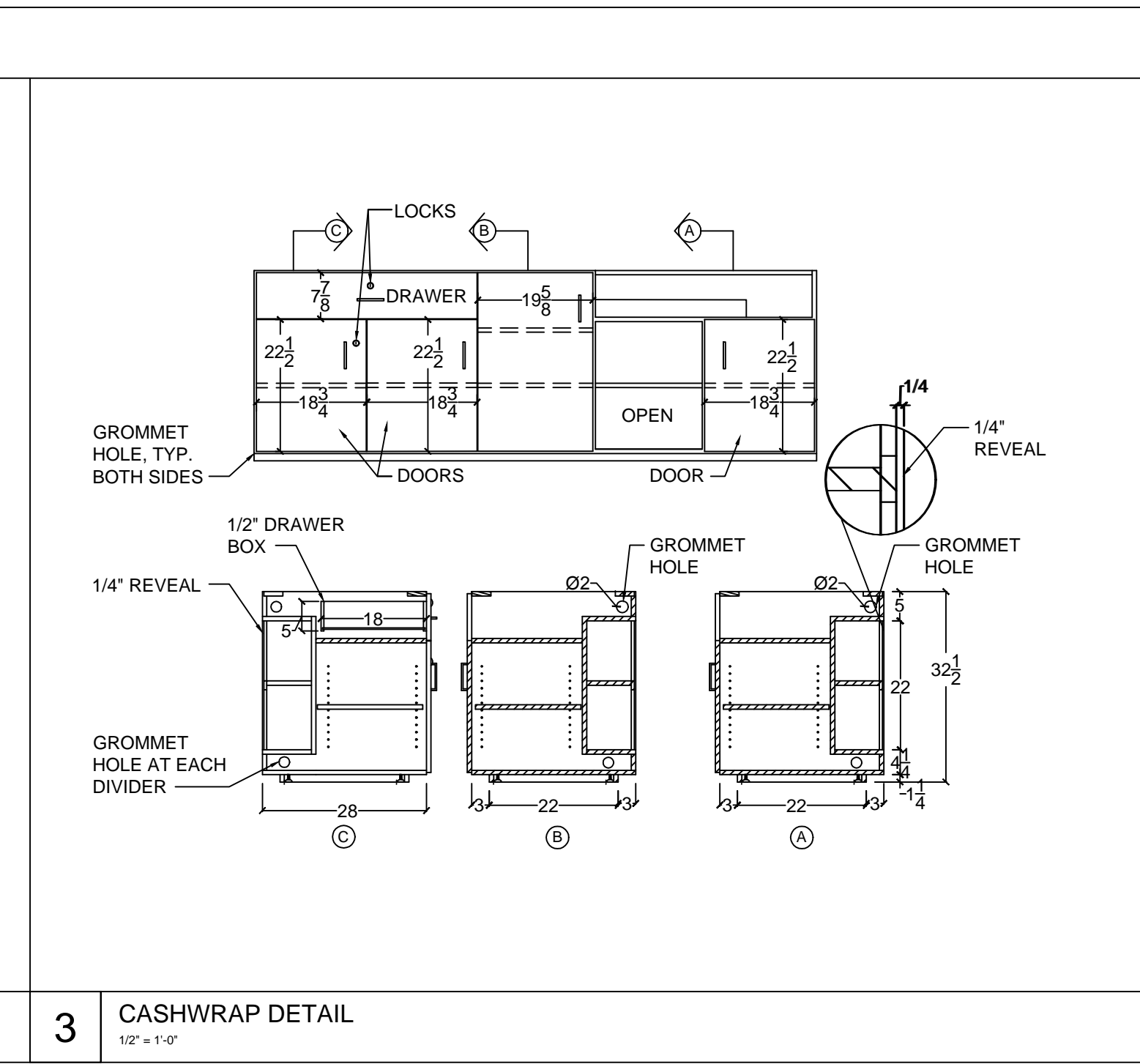
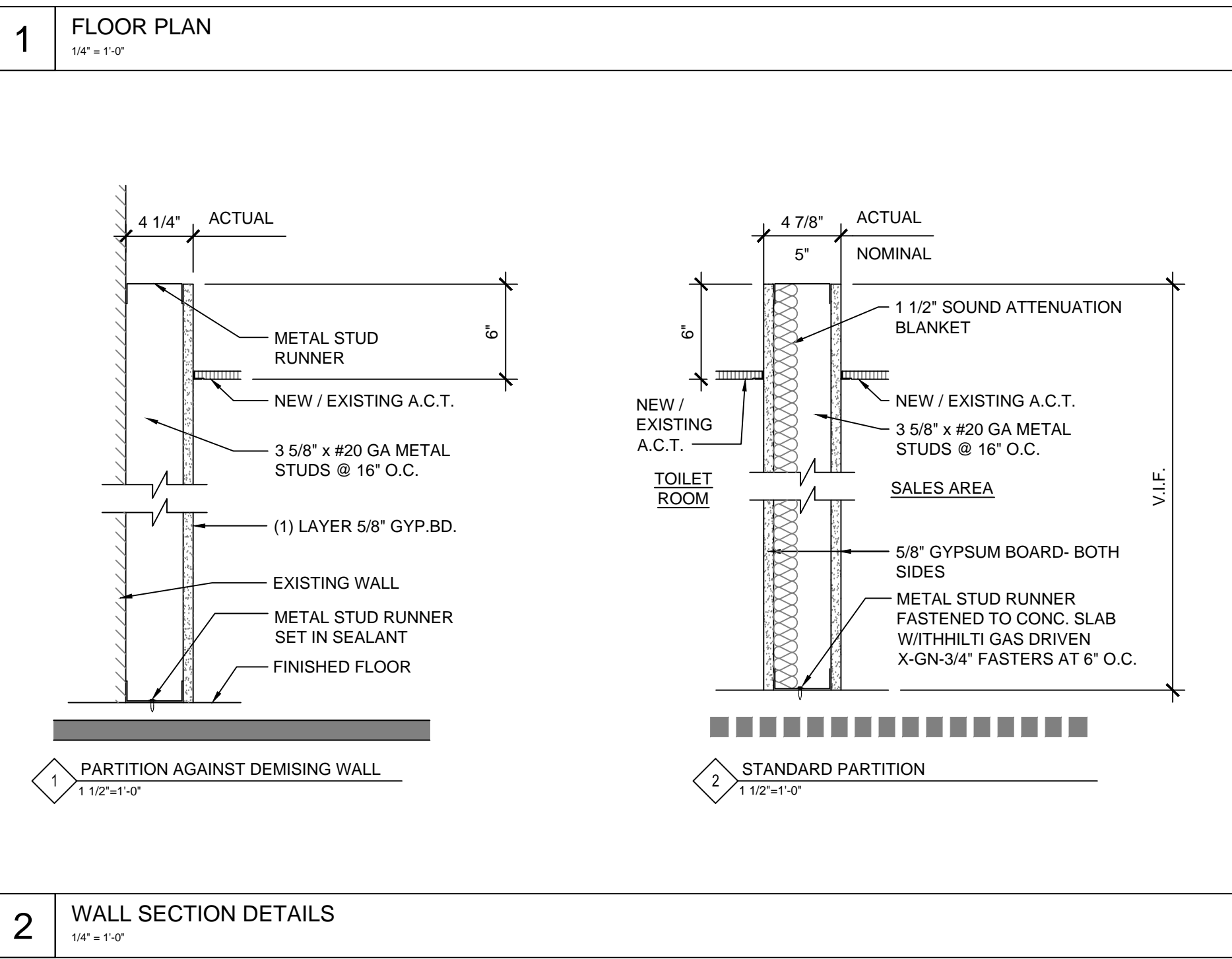
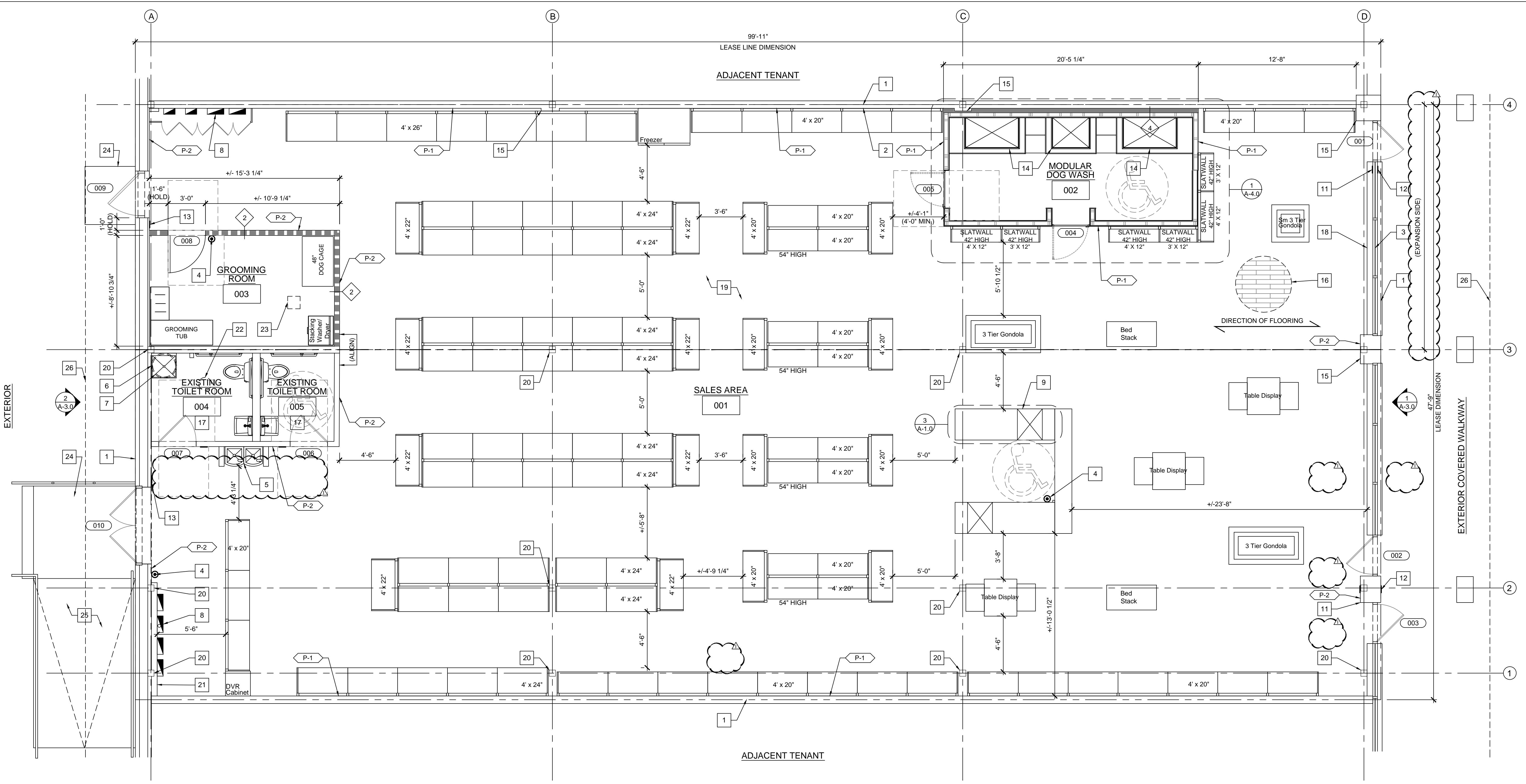
DATE	REVISION
8/7/15	LANDLORD COMMENTS

LOCATION:
SHREWSBURY PLAZA
 500 SHREWSBURY PLAZA
 ROUTE 35 & SHREWSBURY AVENUE
 SHREWSBURY, NJ
 07702

PROJECT INFORMATION:
 DATE: 08/07/15
 PROJECT NUMBER: 150511-002
 AREA: 4,772 SQ. FT.
 DRAWN BY: TRPMS REVIEWED BY: ECB

TITLE:
FLOOR PLAN / WALL SECTIONS / DETAILS

SHEET NUMBER:
A-1.0



- FLOOR PLAN KEYED NOTES**
- LEASE LINE.
 - EXISTING DEMISING WALL TO REMAIN. PATCH AND REPAIR AS REQUIRED AND PREPARE SURFACE TO RECEIVE TENANT'S NEW FINISHES. MAINTAIN ALL FIRE RATINGS AS REQUIRED AT EXPANSION SIDE.
 - EXISTING STOREFRONT SYSTEM TO REMAIN. G.C. TO CLEAN TO BRING TO "LIKE NEW" CONDITION PRIOR TO TENANT TURNOVER. REFER TO HARDWARE SCHEDULE FOR MORE INFORMATION.
 - NEW FIRE EXTINGUISHER, TYP. FINAL LOCATIONS AND QUANTITY TO BE DETERMINED BY FIRE MARSHAL.
 - EXISTING HI-LO DRINKING FOUNTAIN. SEE PLUMBING SHEETS FOR MORE INFORMATION.
 - EXISTING MOP SINK. SEE PLUMBING SHEETS FOR MORE INFORMATION.
 - NEW WATER HEATER. SEE PLUMBING SHEETS FOR MORE INFORMATION.
 - LOCATION OF ELECTRICAL PANEL. SEE ELECTRICAL SHEETS FOR MORE INFORMATION.
 - EXISTING CASHWRAP. SEE ELECTRICAL SHEETS FOR MORE INFORMATION.
 - EXISTING TOILET ROOM IDENTIFICATION SIGNAGE. REFER TO ACCESSIBLE SIGNAGE DETAIL ON SHEET A-1.1 FOR ADDITIONAL REQUIREMENTS. ALL SIGNAGE SHALL COMPLY WITH ICC A117.1-2009.
 - NEW 6" WIDE FRONT-DOOR EXIT SIGNAGE WITH BRAILLE CHARACTERS AT +60" A.F.F. (MAXIMUM) TO THE TOP OF THE HIGHEST RAISED CHARACTER ALONG THE RIGHT SIDE OF THE RIGHT DOOR. REFER TO ACCESSIBLE SIGNAGE DETAIL ON SHEET A-1.1 FOR ADDITIONAL REQUIREMENTS. ALL SIGNAGE SHALL COMPLY WITH ICC A117.1-2009. TENANT TO REIMBURSE LANDLORD FOR WORK.
 - NEW 6" WIDE FRONT-DOOR ENTRY SIGNAGE WITH BRAILLE CHARACTERS AT +60" A.F.F. (MAXIMUM) TO THE TOP OF THE HIGHEST RAISED CHARACTER ALONG THE RIGHT SIDE OF THE RIGHT DOOR. REFER TO ACCESSIBLE SIGNAGE DETAIL ON SHEET A-1.1 FOR ADDITIONAL REQUIREMENTS. ALL SIGNAGE SHALL COMPLY WITH ICC A117.1-2009. TENANT TO REIMBURSE LANDLORD FOR WORK.
 - NEW 6" WIDE REAR-DOOR EXIT SIGNAGE WITH BRAILLE CHARACTERS AT +60" A.F.F. (MAXIMUM) TO THE TOP OF THE HIGHEST RAISED CHARACTER ALONG THE RIGHT SIDE OF THE RIGHT DOOR. REFER TO ACCESSIBLE SIGNAGE DETAIL ON SHEET A-1.1 FOR ADDITIONAL REQUIREMENTS. ALL SIGNAGE SHALL COMPLY WITH ICC A117.1-2009. TENANT TO REIMBURSE LANDLORD FOR WORK.
 - NEW MODULAR DOG WASHING STATIONS. SEE PLUMBING AND ELECTRICAL SHEETS FOR MORE INFORMATION.
 - EXISTING COLUMN ENCLOSURE. G.C. TO PATCH AND REPAIR AS NECESSARY. MAINTAIN ALL FIRE RATINGS AS REQUIRED AT EXPANSION SIDE.
 - G.C. TO INSTALL FLOORING PLANKS FRONT TO BACK WITH NEW WALL BASE. ALIGN NEW FLOORING AND WALL BASE WITH EXISTING FOR A FLUSH AND SEAMLESS TRANSITION WITH THE EXISTING PET VALU FINISHES.
 - EXISTING ACCESSIBLE UNISEX TOILET ROOM TO REMAIN.
 - EXISTING KNEEWALL TO REMAIN. G.C. TO PATCH AND REPAIR AS NECESSARY AT EXPANSION SIDE.
 - FOR FLOORING ELEVATION CHANGES: CHANGES IN LEVEL OF 1/4" MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" IN HEIGHT SHALL BE RAMPED AND SHALL COMPLY WITH SECTION 405 OR 406 ANSI 117.1:2009. RAMP RUNS SHALL HAVE A RUNNING SLOP GREATER THAN 1:20 AND NOT STEEPER THAN 1:12. TENANT TO REIMBURSE LANDLORD FOR ANY WORK ASSOCIATED WITH THE ACCESS POINTS AT FRONT OR REAR OF THE BUILDING.
 - EXISTING COLUMN. G.C. TO CLEAN AND PAINT PER FINISH SCHEDULE.
 - LOCATION OF SPRINKLER PIPE AND TEST VALVE.
 - WATER METER (ABOVE CEILING) WITH REMOTE READER TO REMAIN.
 - AREA OF SLAB LEAVE OUT (HOLE IN FLOOR) - INFILL TO MATCH EXISTING SLAB AND PREPARE FOR NEW TENANT FLOOR FINISHES AS REQUIRED.
 - EXISTING CONCRETE PAD.
 - EXISTING CONCRETE RAMP AND HANDRAILS.
 - LINE OF ROOF OVERHANG ABOVE.