

FLOOR PLAN KEYED NOTES

- 1 LEASE LINE.
- 2 EXISTING DEMISING WALL TO REMAIN. PATCH AND REPAIR AS REQUIRED AND PREPARE SURFACE TO RECEIVE TENANT'S NEW FINISHES. MAINTAIN ALL FIRE RATINGS AS REQUIRED.
- 3 EXISTING STOREFRONT SYSTEM TO REMAIN. G.C. TO CLEAN TO BRING TO "LIKE NEW" CONDITION PRIOR TO TENANT TURNOVER. REFER TO HARDWARE SCHEDULE FOR MORE INFORMATION.
- 4 NEW FIRE EXTINGUISHER, TYP. FINAL LOCATIONS AND QUANTITY TO BE DETERMINED BY FIRE MARSHAL.
- 5 NEW ACCESSIBLE HI-LO WATER FOUNTAIN. SEE PLUMBING SHEETS FOR MORE INFORMATION.
- 6 NEW MOP SINK. SEE PLUMBING SHEETS FOR MORE INFORMATION.
- 7 NEW WATER HEATER. SEE PLUMBING SHEETS FOR MORE INFORMATION.
- 8 LOCATION OF ELECTRICAL PANEL. SEE ELECTRICAL SHEETS FOR MORE INFORMATION.
- 9 NEW CASHWRAP. SEE ELECTRICAL SHEETS FOR MORE INFORMATION.
- 10 NEW 6" WIDE X 6" HIGH TOILET ROOM IDENTIFICATION SIGNAGE WITH BRAILLE CHARACTERS AT +60" A.F.F. (MAXIMUM) TO THE TOP OF THE HIGHEST RAISED CHARACTER ALONGSIDE THE DOOR AT THE LATCH SIDE. REFER TO ACCESSIBLE SIGNAGE DETAIL ON SHEET A-1.1 FOR ADDITIONAL REQUIREMENTS. ALL SIGNAGE SHALL COMPLY WITH ICC A117.1-2009.
KEY NOTE # 11, 12, AND 123 NOT USED IN THIS PROJECT.
- 14 NEW MODULAR DOG WASHING STATIONS PROVIDED AND INSTALLED BY VENDOR. SEE SHEET A-4.0, PLUMBING AND ELECTRICAL SHEETS FOR MORE INFORMATION.
- 15 EXISTING COLUMN ENCLOSURE. G.C. TO PATCH AND REPAIR AS NECESSARY. MAINTAIN ALL FIRE RATINGS AS REQUIRED.
- 16 G.C. TO INSTALL FLOORING PLANKS FRONT TO BACK. **NOT OK**
- 17 EXISTING ACCESSIBLE UNISEX TOILET ROOM TO REMAIN. G.C. TO ENSURE ALL FIXTURES ARE IN PROPER WORKING ORDER. REPLACE BROKEN OR MISSING ITEMS.
- 18 NEW ACCESSIBLE TOILET ROOM. REFER TO SHEET A5.0 FOR MORE INFORMATION.
- 19 FOR FLOORING ELEVATION CHANGES:
CHANGES IN LEVEL OF 1/4" MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL.
CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
CHANGES IN LEVEL GREATER THAN 1/2" IN HEIGHT SHALL BE RAMPED AND SHALL COMPLY WITH SECTION 405 OR 406 ANSI 117.1 2009. RAMP RUNS SHALL HAVE A RUNNING SLOP GREATER THAN 1:20 AND NOT STEEPER THAN 1:12.
- 20 NEW LOADING DOCK AND STAIRS. REFER TO STRUCTURAL SHEET A1.1 AND DRAWINGS FOR MORE INFORMATION.
- 21 ALL EXISTING/NEW GROOMING ROOM WALLS TO HAVE FRP PANELS TO MINIMUM 8 FEET. REFER TO FINISH SCHEDULE SHEET A1.1 FOR MORE INFORMATION.

SA

SARGENT ARCHITECTS

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CONSULTANTS (ENGINEER):

ARCHITECTURAL SEAL:

Dev. National Acct.

CONTRACTOR'S NOTES:

WRITTEN DIMENSIONS HOLD PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. THE CONTRACTORS MUST VISIT JOB SITE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE SUBMITTING BIDS. REPORT ANY DISCREPANCIES OF ANY CONDITIONS WHICH MAY INTERFERE WITH THE PROPER EXECUTION OF THE CONTRACT TO THE TENANT'S REPRESENTATIVE. REPORT DISCREPANCIES DURING BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. CHANGE ORDERS WILL NOT BE APPROVED FOR ISSUES ARISING FROM THE FIELD CONDITIONS OR CONFLICTS BETWEEN THE PLANS AND THE EXISTING CONDITIONS.

DATE	ISSUE
01/21/15	CLIENT, LANDLORD

DATE	REVISION
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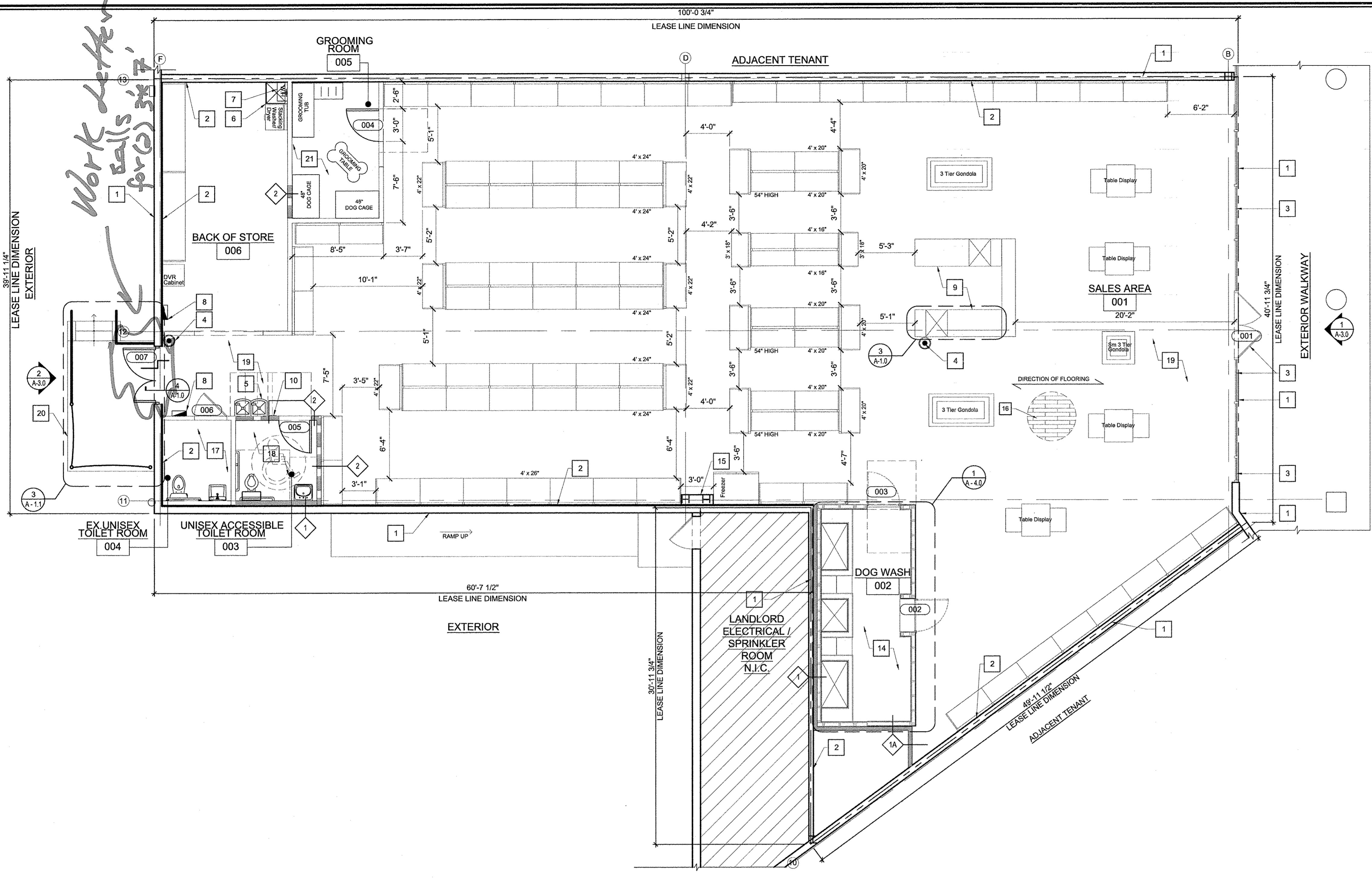
LOCATION:
KMART AND LOWE'S CENTER
1729 QUENTIN ROAD
LEBANON, PA
SPACE # 8

PROJECT INFORMATION:
DATE: 01/16/15
PROJECT NUMBER: 141205-002
AREA: 4,635 SQ. FT.
DRAWN BY: VC
REVIEWED BY: MS

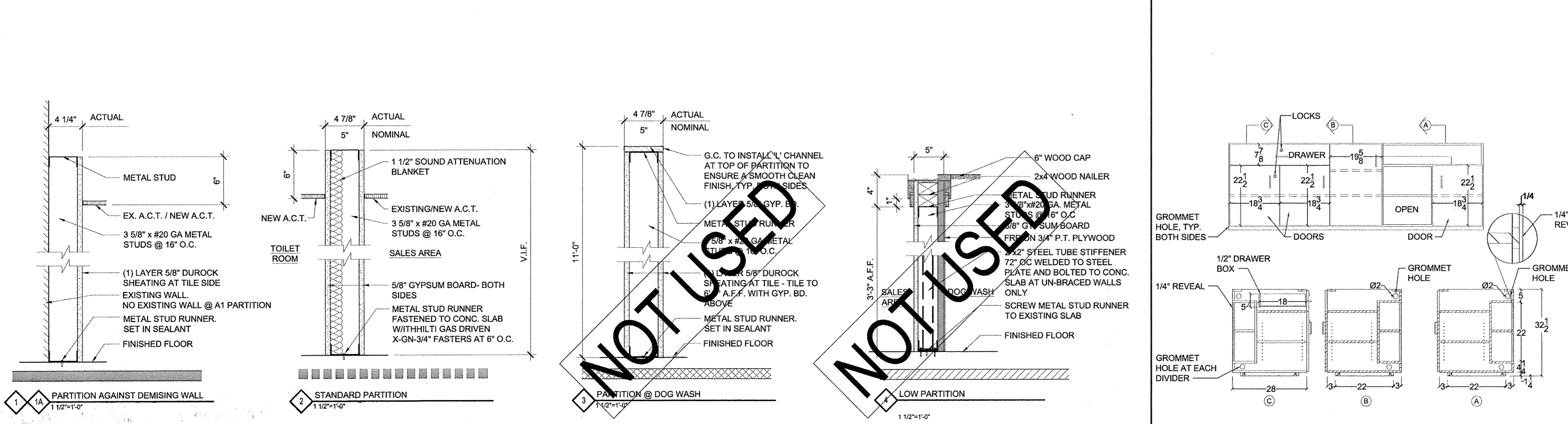
TITLE:
FLOOR PLAN / WALL SECTIONS / DETAILS

SHEET NUMBER:

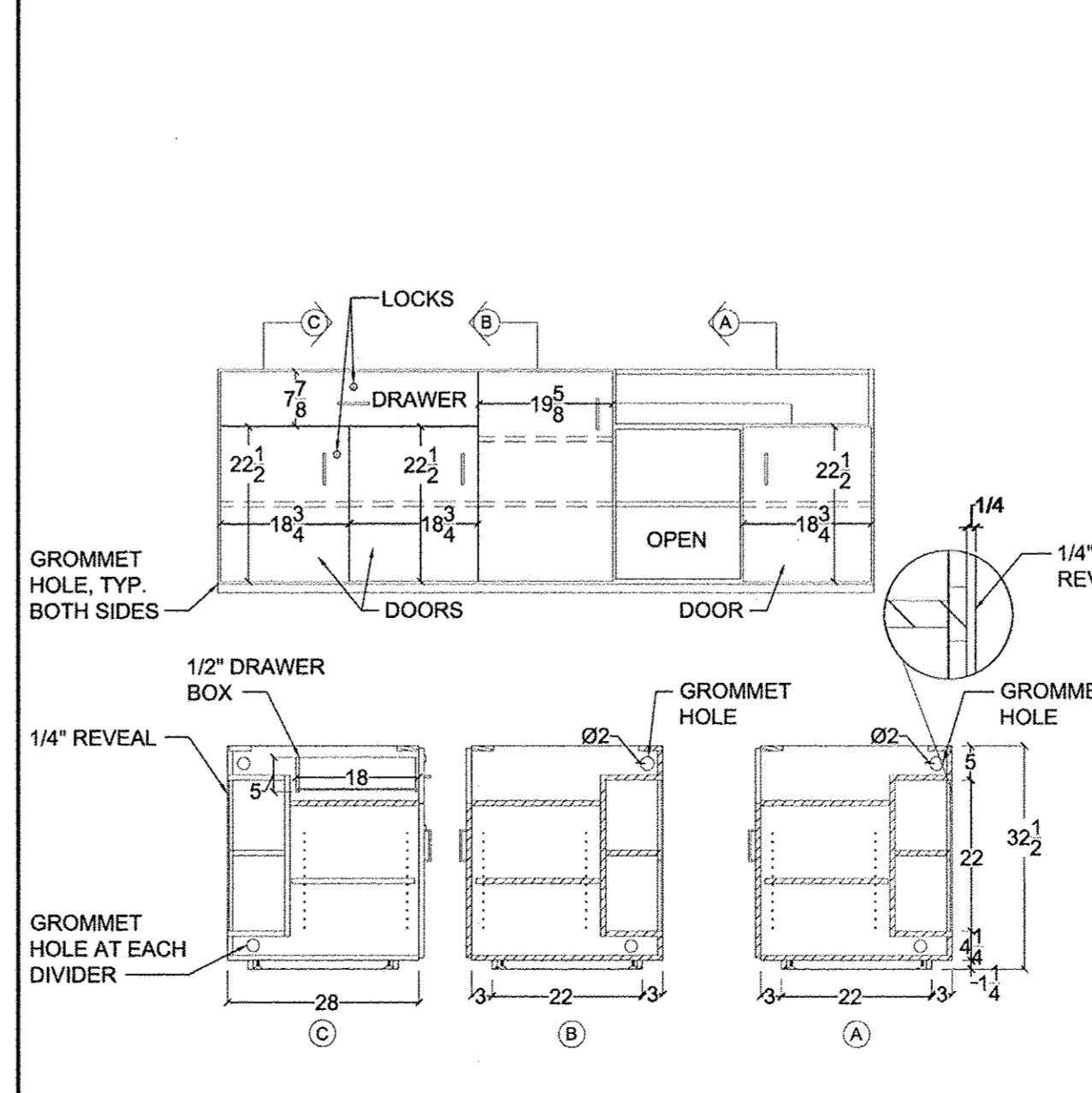
A-1.0



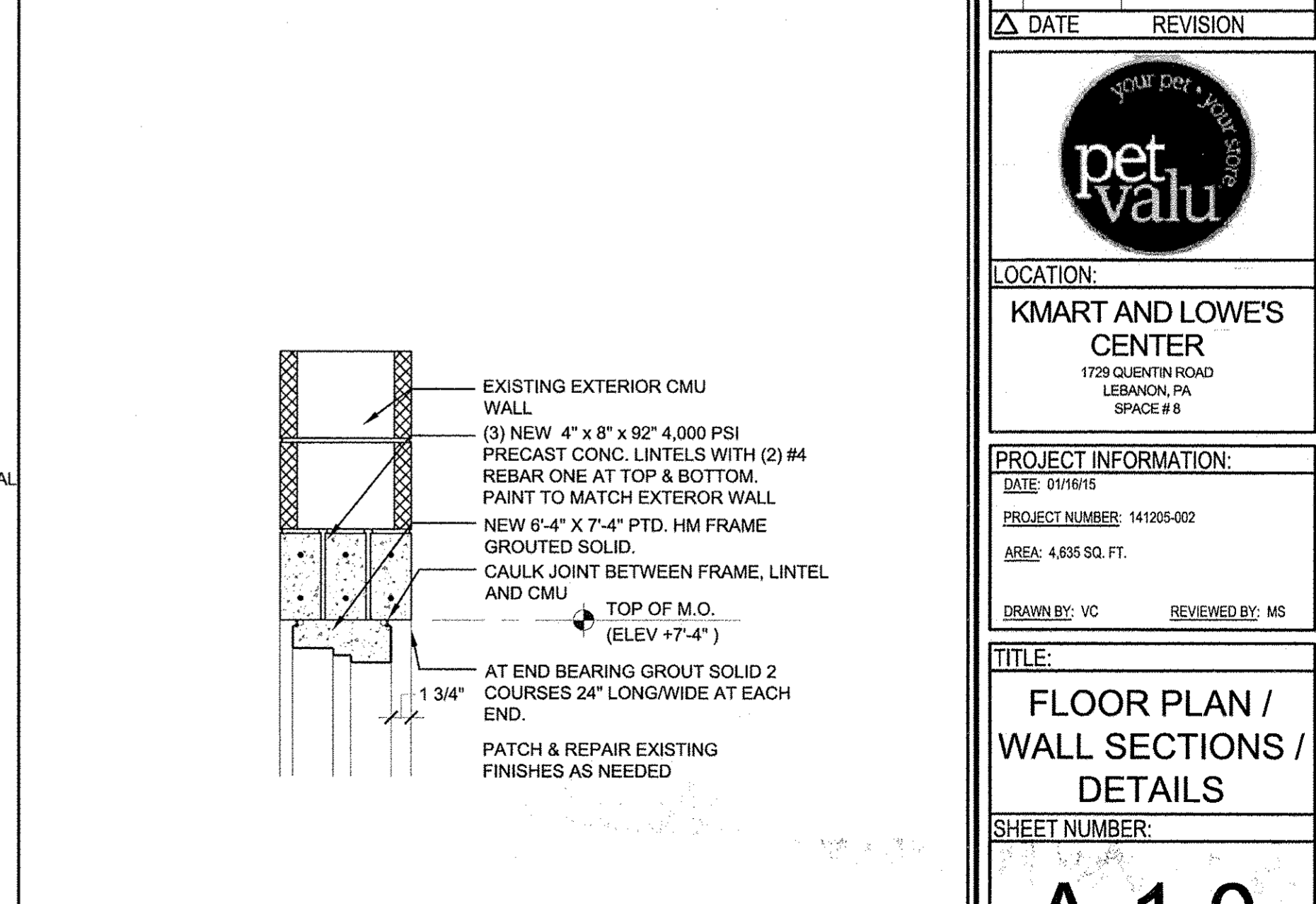
1 FLOOR PLAN
3/16" = 1'-0"



2 WALL SECTION DETAILS
1/4" = 1'-0"



3 CASHWRAP DETAIL
1/2" = 1'-0"



4 DOOR HEADER DETAIL
1" = 1'-0"